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25 APR 2023

# DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT made on this the 25th day of April, 2023.

BETWEEN

SMT. MANTU GARAI @ MANTU BHUNIYA @ MANTU RANI GARAI @ MANATU RANI GARAI, PAN – BLIPB0736M, Wife of Ashis Kumar Garai, by faith - Hindu, by Nationality – Indian, by occupation – House-wife, Residing at – Village - Olda, P.O. – Ghaspada, P.S. – Barsole, Dist. – Purbi Singohum, Jharkhand, PIN – 832101.

Hereinafter called and referred to as the "LAND OWNER" (which expressing shall include her heirs, executors, legal representatives and assignees) of the FIRST PART.

Drafted by:

NILESH DAS, Advocate Enrolement No- F/740/2012 District Judges' Court Jhargram KRITTI CONSTRUCTION

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Additional District Sub Register Jingram, District-Jhargie

. 25 APR 2023

"KRITTI CONSTRUCTION", PAN - AAZFK8211A, a Partnership Firm, having its registered office at Raghunathpur, P.O. – Jhargram, P.S. – Jhargram, Dist – Jhargram, West Bengal, PIN – 721507, represented through its partners namely 1) SRI SOUDEEP SAHOO, PAN - EGUPSO405M, Son of Late Krishnendu Sahoo, by faith - Hindu by Occupation - Business, by Nationality - Indian, Resident of Raghunathpur, P.O. – Jhargram, P.S. – Jhargram, Dist – Jhargram, West Bengal, PIN - 721507 and 2) SRI SEEMANTA MAHATA, PAN - BSBPM7101A, Son of Ajit Mahata, by faith - Hindu by Occupation - Business, by Nationality - Indian, Resident of Village - Tengia, P.O. – Pukuria, P.S. – Jhargram, Dist – Jhargram,

------ Hereinafter called and referred to as the "DEVELOPER/ PROMOTER" (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its executors, legal representatives and assignees) of the OTHER PART.

### AND

WHEREAS the First Part/ the land owner is the present owner as well as occupier has seized and possessed of THAT ALL piece & parcel of BASTU land measuring total 7.90 Decimals i.e. 3,441.24 Sq. ft. more or less in R.S. Plot No. - 354, R.S. Khatian No. - 851, corresponding to L.R. Plot No. - 454, L.R. Khatian No. -13680 within the ambit of Jhargram Municipality, Ward No. - 12, Holding No. -570/393 within Mouza - Jangalkhas, J.L. No. - 395 under Jhargram Police Station in the District of Jhargram within the jurisdiction of Additional District Sub-Registrar at Jhargram, together with all sorts of easement rights & common passage attached hereto, hereinafter called and referred to as the "said properties" which are morefully described in the Schedule - A hereunder by paying all taxes/ rents before appropriate authority.

AND

Drafted by:

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wHEREAS the Schedule - A mentioned property previously owned by two different owners i.e. one was Probir Das, S/o - Prodoyash Kumara Das and another was Sushii Chandra Mitra, S/o – Late Saroj Bandhu Mitra.

WHEREAS the above noted Probir Das purchased total land measuring 15.75 Decimals of land which is situated under Police Station – Jhargram, Mouza – Jangalkhas, J.L. No. - 395, R.S. Khatian No. - 851, R.S. Plot No. - 354 by dint of a registered Sale Deed, being Deed No. – 1919 dtd. – 31/03/1983 of A.D.S.R.O., Jhargram and the land measuring 0.375 Decimals in Mouza -Jangalkhas, J.L. No. - 395, R.S. Khatian No. - 851, R.S. Plot No. - 354 previously owned and possessed by the above hoted Sushiil Chandra Mitra.

### AND

WHEREAS during the absolute possession over the said land measuring 0.375 Decimals the above noted Sushil Chandra Mitra empowered Prabir Das for his own land measuring 0.375 Decimals by virtue of a registered General Power of Attorney, being Deed No. - IV-85 dtd. - 23/03/1983 of the office of Calcutta Assurance.

### AND

WHEREAS being the owner of 15.75 Decimals of land and attorney holder of 0.375 Decimals of land the above noted Prabir Das sold 7.875 Decimals of land from his own share of land as owner and 0.375 Decimals of land as attorney Holder of Sushil Chandra Mitra in two different schedule (Ka & Kha) measuring total area 8.25 Decimals in favour of Harihar Tripathi, S/o - Late Pitambara Tripathi by virtue of a registered Sale Deed, being Deed No. - 150 dtd. -20/01/1984 of the office of S.R.O., Jhargram

### AND

WHEREAS the R.S. Plot No. - 354 of Mouze - Jangalkhas, J.L. No. - 395 was converted in L.R. Plot No. - 454 in the record of settlement.

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Ashumiya ( ) Monte tani (rasea) ( Momate tanh casa WHEREAS being the owner of 8.25 Decimals of land the above noted Harihar Tripathi mutated his name in the record of settlement according to W.B.L.R. Act and got new L.R. Khatian No. – 2987 in his name and he also mutated his name in the record of Jhargram Municipality according to Municipal Act. and got Holding

Be it noted here that in the record of settlement 7.90 Decimals of land has been recorded in the name of Harihar Tripathi instead of 8.25 Decimals of land.

### AND

WHEREAS being the lawful owner the said Harihar Tripathi converted the said land measuring 7.90 Decimals of land in "Bastu" according to law.

### AND

WHEREAS being the owner the said Harihar Tripathi while his absolute possession over the said land measuring 8.25 Decimals he donated his share of land to her foster daughter Mantu Rani Garai @ Mantu Garai @ Mantu Bhuniya, W/o -Ashis Kumar Garai (Land Owner of this agreement) by way of Registered Gift Deed, being Deed No. - 2262 executed on 28/10/2004 and registered on 31/03/2006 of the office of A.D.S.R., Jhargram as he was unmarried.

### AND

WHEREAS being the lawful owner the land owner of this agreement mutated his name in the record of settlement according to W.B.L.R. Act and got separate L.R. Khatian No. - 13680 in her name for 7.90 Decimals of land instead of 8.25 Decimals of land and presently the land owner of this agreement is utilizing her right, title, interest and possession over the said land along with the total share of land i.e. 8.25 Decimals of land.

### AND

WHEREAS on negotiation by and between the parties the land owner of SCHEDULE - A has agreed to allow the Promoter/ Developer to develop the Schedule - A property on certain terms and conditions here in after contained.

Enrolement No- F/740/2012 District Judges' Court

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KRITTI CONSTRUCTION Partner

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# NOW IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS: -

- That the SCHEDULE A property is under exclusive possession with absolute 1. right, title and interest of the land owner and is free from all encumbrances to transfer land convey the whole or part there of the said property, having
- 2. That the Promoter/ Developer has every right to construct multi-storied building/s over Schedule\_ A property.
- 3. The Land owner hereby grant exclusive right to the Promoter/ Developer of Development of the SCHEDULE – A property on what is known as "as is where is basis" and Promoter/ Developer accept the same for consideration (vividly described below) and subject to the terms and conditions herein provided.
- The aforesaid Promoter/ Developer, offered to develop and construct at 4. their own cost, multi-storied residential cum commercial building/s over the SCHEDULE - A property and the land owner wanted and agreed to acquire units and other built-up area of the said building as consideration for the part of the said property to be conveyed by the land owner to the Promoter/ Developer or its nominees etc.
- That the Land owner has not entered in the past in any agreement for 5. sale or development of the said property or any part thereof nor has made any arrangement with anyone what said properties are not subject to any notice or acquisition or requisition.
- The Land owner has no excess vacant Land within the preview of Urban 6. Land (Ceiling and Regulation) Act; 1976.
- As from the date hereof, the Promoter/ Developer shall be entitled at their 7. own risk to deal and/ or trespassers on the said property and to take any proceedings against them and/ or to arrive at any arrangement or agreement with them and/ or to arrive at any arrangement or agreement

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with them at the costs, charges and expenses of the Promoter/ Developer alone. However, the Land owner will empower and authorize the Promoter/ Developer under the Power of Attorney to be executed as aforesaid to effectively deal and/ or negotiate with the trespassers or unauthorized occupants and to deal in with Government Offices, Jhargram Municipality, B.L. & L.R.O., Jhargram, W.B.S.E.D.C.L, Jhargram and the Land owner will grant suitable powers and authorities in the said Power of Attorney to be granted to the Promoter/ Developer.

- 8. That the Land owner handing over complete vacant possession of the said properties to the Promoter/ Developer under a license.
- 9. That the Land owner giving irrevocable right to construct building/s on Promoter/ Developer' own cost and expenses and with right to sell the units in the said proposed multi-storeyed building/s from Promoter/ Developer's Allocation to the prospective purchaser/s, on ownership basis or otherwise and to appropriate the Sale proceeds to themselves although formal possession of the property shall be handed over to the Developer of execution of the conveyance.
- 10. That the entire multi-storeyed building shall be constructed by the Promoter/ Developer and the entire cost to be incurred for construction shall be borne by the developer including the cost of sewerage, drainage with all fittings, amenities, electric fittings, water connection, electrification, lift etc. till the final finishing and completion of the entire building/s to make them habitable for the land owner and other inmates of the building.
- 11. This agreement will not be treated as a partnership between the Land owner and the Promoter/ Developer or an Agreement for Sale of the said plot by the Land owner to the Promoter/ Developer. The Promoter/ Developer is given only a right to develop the said plot as aforesaid.
- The Promoter/ Developer is satisfied that the Land owner is the full and absolute owner of the said property and that the property is not subject to any mortgage, charge or any other encumbrances.

NILESH DAS, Advocate Enrolement No- F/740/2012 District Judges' Court

Jhargram

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- That the Promoter/ Developer shall be and are hereby authorized to borrow amount for the cost to be incurred for construction work of the proposed building from any financial institute like any Nationalized Bank, Co-Operative Bank, Private Bank or LICI Housing Developers. In that case, if needed the land owner will co-operate with the Promoter/ Developer and they will mortgage, concerned land/ land with structure there upon in favour of such financial institution, in the capacity as guarantor.
- 14. That the Promoter/ Developer shall indemnify and keep indemnified the Owner from and against non-payment thereof. In the event of the Promoter/ Developer paying any refundable deposit to the Jhargram Municipality or other authority in the course of the development of the said property in the name of Land owner, the Promoter/ Developer shall be entitled to refund of such deposit in his name or in the name of firm. To enable the promoter to obtain the refund the Land Owner will sign or execute all such documents, writings as may be required by the Promoter/ Developer in that behalf without raising any objection or requisition in that behalf.
- In consideration of the agreement, the land owner of Schedule A property has agreed to grant exclusive right of development of the said landed property to the Promoter/ Developer. In lieu of the SCHEDULE - A property the Promoter/ Developer agrees or undertakes to handover the following accommodations (O2 Nos. of Residential Flats/ Units & O1 Nos. of Shop/ Commercial Unit) in the proposed multi-storied building, sanctioned by Jhargram Municipality or other authority.
  - a) One residential unit/ flat in the North-West side of the first floor, being Flat No. - F-1/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to the OWNER.
  - b) One residential unit / flat in the North-West side of the second floor, being Flat No. -F-2/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to

the OWNER. Drafted by:

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- That the Promoter/ Developer shall be and are hereby authorized to borrow amount for the cost to be incurred for construction work of the proposed building from any financial institute like any Nationalized Bank, Co-Operative Bank, Private Bank or LICI Housing Developers. In that case, if needed the land owner will co-operate with the Promoter/ Developer and they will mortgage, concerned land/land with structure there upon in favour of such financial institution, in the capacity as guarantor.
- That the Promoter/ Developer shall indemnify and keep indemnified the Owner from and against non-payment thereof. In the event of the Promoter/ Developer paying any refundable deposit to the Jhargram Municipality or other authority in the course of the development of the said property in the name of Land owner, the Promoter/ Developer shall be entitled to refund of such deposit in his name or in the name of firm. To enable the promoter to obtain the refund the Land Owner will sign or execute all such documents, writings as may be required by the Promoter/ Developer in that behalf without raising any objection or requisition in that behalf.
- 15. In consideration of the agreement, the land owner of Schedule A property has agreed to grant exclusive right of development of the said landed property to the Promoter/ Developer. In lieu of the SCHEDULE - A property the Promoter/ Developer agrees or undertakes to handover the following accommodations (02 Nos. of Residential Flats/ Units & 01 Nos. of Shop/ Commercial Unit) in the proposed multi-storied building, sanctioned by Jhargram Municipality or other authority.
  - a) One residential unit/ flat in the North-West side of the first floor, being Flat No. - F-1/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to the OWNER.
  - b) One residential unit / flat in the North-West side of the second floor, being Flat No. - F-2/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to

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the OWNER. afted by:

S, Advocate ent No- F/740/2012 District Judges' Court Jhargram

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One shop on the ground floor admeasuring more or less super built-up area 180 within the proposed multistoried building to the Owner.

## AND

The Promoter/ Developer will also pay Rs. 50,00,000/- (Rupees Fifty Lakh) by four different instalments during the completion of the multistoried building through RTGS/ NEFT/ Cheques/ bank transfer and today the Promoter/ Developer is paying Rs. 5,00,000/- by cheque being Cheque No. - 114401 dtd. 23/01/2023 of IDBI Bank, Jhargram Branch and Rs. 5,00,000/- by cheque being Cheque No. - 010104 dtd. 25/04/2023 of IDBI Bank, Jhargram Branch as 1st instalment amongst the four instalments.

# AND

Promoter/ Developer shall be entitled remaining constructed area of the proposed building and proportionate share of the landed property in Schedule - A, except the common area/ common portion (Hall/ Toilet/ Wash Room or similar in nature) of the Schedule Property; those will/shall be used as COMMON AREA.

That the development work to be carried out by the Promoter/ Developer shall be in accordance with the permission/s granted by the competent authority and shall also be accordance with the sanctioned plan/s from Jhargram Municipality or other authority. The Promoter/ Developer shall also be entitled in their own right as the land owner shall be empowered the Promoter/ Developer by executing Registered General Power of Attorney in favour of Promoter/ Developer for their allocation (Developer's Allocation), and development of the proposed multi-storied building and to enter into Agreement/s on what is popularly called ownership basis or otherwise and/ or arrangements with any person/s of their choice for the purpose of selling, allotting and/ or transferring any of the residential units/ shops/ garage/ godown etc. (in the proposed multi-storied building to be constructed by the Promoter/ Developer except the owner's

)rafted by:

SH DAS, Advocate nrolement No-F/740/2012 District Judges' Court Jhargram

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allocation which will be also constructed by the Promoter/ Developer the Schedule - A property or individually over Schedule - A property in accordance with the sanctioned building plan and to receive and appropriate consideration from the intending purchaser/s for his own benefit). Such agreements and / or arrangements shall be entered into by the Promoter/ Developer in their name and at their own costs and risk and no risk or liability of any kind shall be incurred by the land owner in any

- 17. The roof right over the proposed multi-storied building/s will be exclusively for the Promoter/ Developer.
- 18. The Land owner will be fully entitled to enter into agreements for sale or otherwise allotted units comprised in the owner's allocation in the proposed building and which does not from part of Developer's Allocation, whenever required by the Land owner and the land owner's has the right to sale, mortgage etc. of owner allocation.
- 19. After registration of this Development Agreement and thereafter Power of Attorney by the land owner, the Promoter/ Developer shall be entitled to sell or enter into agreement for sale or other agreement or mortgage their allotted share directly to it's prospective buyer/s or any financial Institution.
- 20. That the Promoter/ Developer shall develop the said property themselves or through any agency or company etc. as per their choice at their own cost and will be responsible for the development of the schedule property but the Land Owner will has the right to inspect the development and construction of the said multi-storied building. The Promoter/ Developer will use the standard materials as specified in SCHEDULE - B.
- That the Land owner herein will has no right, authority and power to 21. terminate and/ or determinate this development agreement within the stipulated period of construction and sale of residential flats / accommodations of the said proposed building/s. It is recorded herein that the completion period of the proposed building/s by the Promoter/

Drafted by:

S. Advocate Enrolement No-F/740/2012 District Judges' Court Jhargram

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Developer shall be 24 (Twenty four) months from the date of sanction of building plan an grace period shall be for 06 (six) months. In case the construction of the building in not completed within the period of 30 (Thirty) months due to force majeure or any other unforeseen reasons which is beyond true control of the builder, the time for completion of the construction of the builder, the time for completion of the construction of said proposed building shall be extended by mutual discussion of the Land Owner and the Builder I.e., the Promoter/ Developer.

- 22. The building plan will be sanctioned by the Jhargram Municipality or any other appropriate authority as per this Development Agreement by & between the parties hereto will be up to G+4, it depends upon what kind of plan/ permit be sanctioned by the authority and in case of further extension, the Promoter/ Developer have to take written permission from the land
- That the Land owner do hereby agree with the Promoter/ Developer that if any disputes and/ or litigation arise in respect of the said landed property, during the period of agreement, the time for completion of construction of the proposed building should be extended accordingly and the construction work will remain suspended till the disputes and / or litigation is sorted out.
- 24. Promoter/ Developer shall have the right to publish advertisement or hoarding at any place or the site to draw the attention of the prospective buyers of the units/ floors/ shops/ car parking spaces/ spaces of the building/s.
- 25. That there is no bar legal or otherwise for the owner to obtain the certificate under the section 230 (A) of the Income Tax Act, 1961 and other consents and permission that may be required at the cost of the Promoter/ Developer.
- 26. After the receipt of the full consideration (Owner's Allocation) by the Land owner from the Promoter/ Developer, the Land owner will execute one or Drafted by:

SH DAS, Advocate Enrolement No- F/740/2012 District Judges' Court **Jhargram** 

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Gantle Crased (a) Mante Amenina (a) Mante

Bhundsa (a) Mante Pani Garai (a) Mante Lani Gara more deed of conveyances as may be desired by the Promoter/ Developer (in case of need) but at the costs and expenses in all respects being borne and paid by the Promoter/ Developer including Stamp duty and Registration charges.

- 27. That the Land owner here by declares that she has not entered into any person or persons for Agreement for Sale or Lease or created any thirdparty rights in favour of any person or persons in respect of the Schedule property.
- That in case of any dispute or differences between the land owner and Promoter/ Developer arising out of relating to this Development Agreement, the same shall be settled by reference of the dispute or differences to the arbitrator appointed by mutual consent of both parties and such arbitration shall be conducted under the provisions of the arbitration & conciliation Act, 1996 as amended from time to time at Jhargram.
- 29. That the Land owner has not or shall not do done any act, deed, matter or thing whereby or by reason whereof, the development of the schedule property may be prevented or affected in any manner whatsoever.
- 30. That the Promoter/ Developer shall be entitled to enter into separate contracts in their own name with building contractor, architects and other for carrying out the said development at their own risk or costs.
- 31. That any Courts of Jhargram shall have exclusive jurisdiction over all the matters of dispute arising in respect of and from this agreement.
- 32. That the Land owner agree and undertake to indemnify and compensate the Promoter/ Developer for any loss or liabilities that the builder/ promoter/ developer may incur by reason of any declaration or representation of the land owner being found to be incorrect or invalid or untenable at any time.

33. That the Promoter/ Developer shall at their own costs and expenses and without creating any financial or other liability to the Land owner,

Istrict Jupiges' Court Jhaggram

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- 34. That both the parties of this agreement shall abide by all law, by laws, rules and regulations of the Government, Statutory bodies and / or local bodies as the case may be and shall attend to answer and be responsible for any deviation violation and/ or breach of any of the said laws, by laws, rules and regulations and the West Bengal Building (Regulation of Promotion of Construction and Transfer by Promoter) and/ or the West Bengal Housing industry Regulation Act, 2017.
- 35. That the Land owner and Promoter/ Developer or their nominees or coowner of the proposed multi-storied building shall form an association for maintenance and management of the proposed building/s.
- That all appendices mentioned in this agreement are integral part of this agreement.
- 37. That all the amendment and or addition to this agreement are valid only if made in writing and signed by both parties.
- 38. That both the parties hereto shall be considered to be liable for any obligation hereunder to the extent that performances of the relative obligations' preventive by the existence of the "Force Majeure" (Like Flood, Earth quake, riot, war, storm, tempest, civil commotion beyond the control of the parties) and shall be suspended from the obligation during the duration of the "Force Majeure".
- 39. Both are Promoter/ Developer and Land owner herein shall enjoy their respective allocations / portions in the said multistoried building/s forever with absolute right of alienation, transfer, gift etc. and such rights of the parties no way could be taken off or infringed by either of the party under any circumstances.

pafted by:

ILESH DAS, Advocate Inclement No. F/740/2012 District Ard Jes' Court KRITTI CONSTRUCTION

Loudeep Sohro Partner

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- Nante travaile Monte Shunizale Mante Lani Ganai (a) Monate Lani Canal
- building or any portion thereof for carrying on any obnoxious illegal an immoral trade or activity not use thereof for any purpose which may cause any nuisance or hazard to the other occupier/s of the proposed building. No party shall demolish or permit demolition of any will or other structure in his / her their respective allocation/s or any portion thereof or make any structural alteration therein without the previous consent of the other in this
- No goods or other items shall be kept by the either party for display or otherwise in the corridors or other places of the use in the building and no hindrance shall be caused in any manner in the free movement of the users in the corridors and other places of common use in the building.
- 43. No party shall throw or accumulate any dirt, rubbish, waster or refuse or permit the same to the thrown or accumulated in or about the building or in the compounds, corridors or any other portion or partitions of the building.
- As soon as the building is completed, Promoter/ Developer shall give written 44. notice to the Owner / Land owner, requiring the owner to take possession of the Owner's Allocations in the proposed building/s. Then after 30 (Thirty) days from the date of service of such notice and at all times there after the Owner will be exclusively responsible for payment of all municipal and property taxes, rates, duties and other public outgoings, electric bill and impositions whatsoever (hereinafter for the sake of brevity referred to as "the said rates" payable in respect of the owner's allocations, the said rates to be applied pro - rata with reference to the salable space in the building/s if any one levied on the building as a whole).
  - All costs, charges and expenses including architect's fess shall be 45. discharged and paid by the developer and owner will have no responsibility in this context to the Architect but in case of extra work then the Land owner has to pay the extra cost for extra work which is/ will be beyond schedule work.

Drafted by:

Advocate Enrolement No- F/740/2012 District Judges' Court

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No party shall do or permit to be done any out or thing which may render void and voidable any issuance of the building or any part thereof and shall keep the other occupier of the said building harmless and indemnified from and against the consequences of any reach.

- 47. That the Promoter/ Developer shall obtain completion certificate from Jhargram Municipality if applicable within 6 (six) months from the date of handing over possession of the Owner's allocation to the Land owner.
- 48. That after completion of construction works of Land owner Allocation the Promoter/ Developer shall give the possession certificate to each one owner and hand over their vacant possessions as per their allocation which has been noted in consideration.

# THE SCHEDULE - A ABOVE REFERRED TO (Description of the said landed property)

ALL THAT piece and parcel of the "Bastu" land measuring an area of 7.90 Decimal i.e. 3,441.24 Sq. ft. more or less in R.S. Plot No. – 354, R.S. Khatian No. - 851, corresponding to L.R. Plot No. - 454, L.R. Khatian No. - 13680 within the ambit of Jhargram Municipality, Ward No. - 12, Holding No. - 570/393 within Mouza – Jangalkhas, J.L. No. – 395 under Jhargram Police Station in the District of Jhargram, together with all right of easements, common facilities and amenities annexed thereto.

One sketch map, showing the scheduled land, demarcated with red ink is also annexed herewith, which is considered to be one part of this development agreement.

The scheduled land is butted and bounded by -

TO THE NORTH:

30 ft. width pitch road.

TO THE SOUTH :

Land of Mantu Rani Garai & Lakshindar Paloi.

TO THE EAST :

Land of Swaroj Ghosh.

TO THE WEST:

Land of Rajat Samanta.

The Govt. assessed market value of the land is Rs. 1,64,24,100/- only.

Drafted by:

Enrolement No. 6 District Judges' Court shagram

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# THE SCHEDULE - B (Work Schedule/Specification)

SI.	1	THE SCHEDUL Work Schedule/Spe	E - B
No.	Partic	ulars	Turiculion)
	The same of the sa		Specification
1		Foundation & Structure	RCC Framed Structure , Cement of reputed Company
	Main Structure	Walls	Red Brick/ Masonry as per design of Architect
	Living Room/Dist	-	Outer Wall - 10" Inner Wall - 5"
2	Room/Bedrooms/Balcon	Flooring •	Rectified Ceramic tiles mat finished 24"X24" of Reputed Standard Make
-		Wall/Ceiling Finish	Putty over plaster and cement primer over it with colours.
		Flooring	Rectified Ceramic tiles mat finished 24"X24" of Reputed Standard Make
3	Kitchen	Wall/ Ceiling Finish	Putty over Plaster and Cement Primer over it with colours.
		Counter	Green Marble/ Any other suitable marble
		Dado	Ceramic Tiles up to 2 ft 6 inch height above Counter top of Reputed Standard make
		Fitting/fixtures	1 No. Stainless Still Sink and 2 No bib cock of Reputed Standard make
		Water Supply	Provision of Cold water lines
		Flooring	Rectified Ceramic tiles mat finished 12"X12" of Reputed Standard Make
4	Toilets	Wall/ Ceiling Finish	Putty over Plaster and Cement Primer over it. Ceramic Tiles on wall up to 6 ft height
	Tonicis.	CP Fitting	CP fittings of Reputed Standard Make
		Sanitary ware	OT Pan White- 1 No. PVC Cistern White- 1 No O/H shower with arm - 1 No 3 Nos bib cocks Sanitary ware of Reputed Standard Make. PVC Door- 1 No.
		Water Supply	Provision of cold water lines to all points.  Hot Water Line connected to geyser point in one Toilet only
		Attach Toilet	EWC White 1 pc PVC Cistern White- 1 No.
	Pipelines	Water Supply	2 Nos bib cocks. PVC Door- 1 No. PVC Pipes of Reputed Make
		Rain Water/Soil Pipe	PVC Pipes of Reputed Make

)rafted

NfLESH DAS, Advocate Inrolement No- F/740/2012 District Judges' Court Jhatgram

KRITTI CONSTRUCTION

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	Doors	Door Frame	
2		Door Shutter	Hard wood/ Pressed Steel
		Lock /Hardware	Flush door of reputed make
			Main Door 1 No 8" Tower bolt from inside 1 No Handle from inside 1 No handle and 1 No L drop from outside Other Rooms 1 No 6" Tower Bolt from inside 1 No handle from inside 1 No hatch bolt from out side
		. **	1 No Handle from outside of standard reputed make
7		Paint .	Synthetic Enamel paint
	Windows	4	Aluminum sliding window (2 Track, 3 Track) with 3 MM Glass.
		Bed Rooms	2 light point, 1 fan point, 1 No. 5A switch socket,
		Living /Dining Room	2 light points, 1 Fan point, , 2 Nos. 5A switch socket, 1 calling bell point
8	Electrical	Kitchen	1 light point, 1 No. Exhaust fan point, 1No. 5A switch socket, 1 No 5/15 A Switch socket
		Toilet	1 No. Light point, 1 No. Exhaust fan Point, 1 No. 15A socket for geyser in one toilet only.
		Wiring	Concealed ISI Marked Stranded Copper Wiring in PVC Conduit Pipe
		Electric Meter	Individual Electricity Meter borne by the purchaser for Each Apartment and common Area as per rules
		Electrical Distribution	Main switches /MCBs/DBs of reputed make
		Switches/Sockets	Piano Switches of reputed make
9	Water Source/Supply		Deep tube well with submersible water pump and overhead tank
		Floor	Kodappa Stones
	Stair Case	Wall/Ceiling Finish	Distemper or snowcem
0		Railing	MS Railing Synthetic enamel painted
1		Flooring	Cement punning over plaster
	Car parking Area	Wall Finish	Distemper or snowcem
2	Drive way	Flooring	Cement punning over plaster
3	Terrace	Water proofing	As per norms & Design of Architect
4	External wall finish		Snowcem over plaster
5	Additional work		Any other extra work will be done at extra cost subject to Architects prior approval.

Drafted

NILESH DAS, Advocate
Enrolement/No- F/740/2012
District Judges' Court
Jhargram

KRITTI CONSTRUCTION Partner

KRITTI CONSTRUCTION seemantomaha Partner

mentioned here in that the photographs and impression of fingers of the Owner, the Developer and identifier are taken on the last page of this presents, duly certified by the Owner and the Developer.

IN WITNESS WHEREOF both the parties have hereunto set their respective hands hereto being acquainted with the facts & consequences on the day, month, year and place first above written in presence witnesses after properly gone through the above noted contents which has been written as per their direction.

# Signature of the Witnesses:

1. Niladki Das vin- Boluhamdihi -PotPS+DiSt- Fthenfran Pin-721507, occ-Business

This deed has been completed in 20 pages including one sketch map and there are two witnesses, signed in this

2. Subrala Das. So Bison Kr Sas. Signature of the Land owner Manku Gravail Manku Bhuniya a Manku Banikarai riu- Clffor Bam de P.01 P.8+ Qiet Thorgram Pin- 72/507

Signature of the Developer

KRITTI CONSTRUCTION Soudeep Sahoo.

KRITTI CONSTRUCTION Seemontamohat

Drafted & prepared in my office :

NILESH DAS, Advocate, Enrollment No. - F/740/2012,

Jhargram Judges' Court.

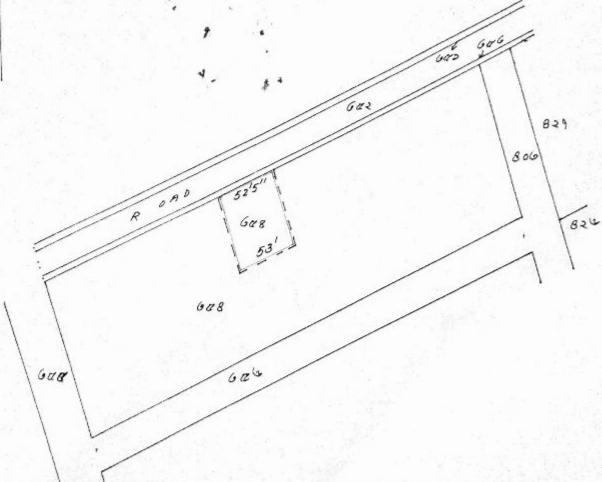
Advotate

Enrolement Nd- F/740/2012 District Judites' Court

Jhangram

Typed by : Ashok Kumar Maity, Jhargram.

MOURA - SANGALKHAS, J.L. NO. - 395 THANA LOELA - SHARGRAH SCALE - 64" SMILE



LAND AREA - 7.90 DEC

REFERENCES

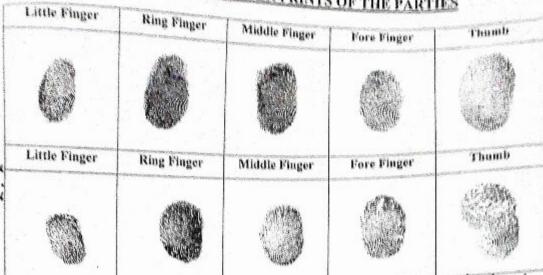
DRAWN BY

PRABIR KR. MAHATO AMIN HARGRAM

Fouder Sahro.

Seemanta Mahaba Partner Month transi @ Manke Ghuniza @ Manke Dani Cearai @ Manake Lani trans

# PHOTOGRAPHS & FINGER PRINTS OF THE PARTIES



Signature Mantubravaia Manatu tami bravai

Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
	6300	(12)		144
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

Signature Loudeep Sahro

Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Little Finger				
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

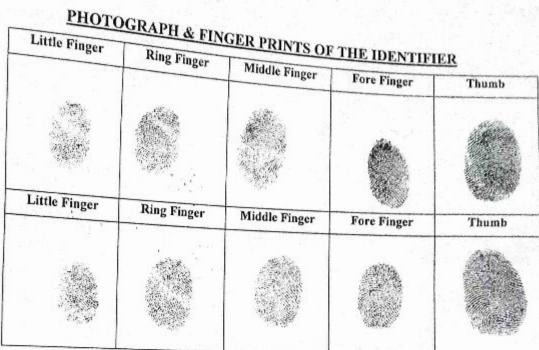
Signature Seemanta Mahata



Marathe Kari Gamai











# Govt. of West Bengal Directorate of Registration & Stamp Revenue GRIPS eChallan



DECK T

GRN Date:

BRN:

192023240027421561

25/04/2023 13:02:57

435773238

GRIPS Payment ID: 250420232002742155

Payment Status: Successful Payment Mode:

Bank Gateway:

BRN Date: Payment Init. Date:

Payment Ref. No:

Online Payment

Punjab National Bank

25/04/2023 01:04:32 25/04/2023,83:02:57

2001026533/4/2023 [Quary No.\* Quary Year]

45025

Deposits o Details

Depositor's Name:

Krimi Construction

Address: Mobile

Raghunashpur

Contact Nac

9932661307 7001700281

Depositor Status:

Buyer Claimants

Query Nac

2001026533

Applicant's Name:

Mr Nilesh Das

Identification No:

2001026533/4/2023

Remarks:

Sale, Development Agreement or Construction agreement

Period From (dd/mm/yyyy): 25/04/2023

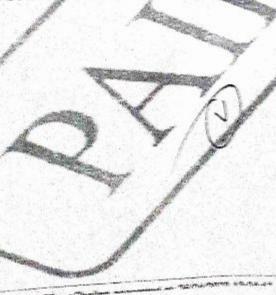
Period To (dd mm yyyy):

25/04/2023

## Payment Details

S. No	Fayment Raf No	HadefAC Decretos	Head of A.C	Amount(₹)
ELECTRICAL PROPERTY.	200202650342023	Property Registration- Stamp duty	0030-02-103-003-02	35011
2	2000025554323	Property Registration-Registration Sees	0030-03-104-001-16	10014

FORTY FIVE THOUSAND TWENTY FIVE ONLY. IN WORDS:



# Major Information of the Deed

	Mary Town School Control of Street Control	The state of the s
	1-2205-00717/2023	
	2205-2001026533/2023	Date of Registration 1987/18/07/2
	24/04/2023 3:52:13 PM	Office where deading requirers
Name. Address	Nilesh Das	LANDER STANDARD STANDARD STANDARD
Sussment	Agreement or Construction	[4305] Other tree; known case Frequency Deckaration (No of Deckaration 1) 145313 (when then temporable Property, Receipt (No. 10.00,000/-)
Set Form value		Markof Velhe
Rs 15.00.000n Stampduty Fac(SD)		Rs 1 64 24 1007 Registration Feb Púrt
Rs. 40.011/- (Article:48(g))		Rs 10,014/- (Article E. E. B)
Remarks	Received Rs. 50/- ( FIFTY only area)	from the applicant for issuing the assement stip (Urber)

### Land Details:

District: Jhargram, P.S.- Jhargram, Municipality: JHARGRAM, Mouza: Janglekhas-(395), , Ward No. 12, Holding No. 570/393 Jl No. 395, Pin Code: 721507

Sch. No	Plot Number	Khatian Number	Land Proposed	10 mg 4 mg 20 mg 2			Market Value (in Rs.)	Other Betails
L1	LR-454 (RS : 354 )	LR-13680, (RS:-851\0)	7	Vastu	7.9 Dec	15,00,000/-		Width of Approach Road: 30 Ft., Adjacent to Metal Road,
-	Grand	Total:			7.9Dec	15,00,000 /-	164,24,100 /-	



Executed by: Self, Date of Execution: 25/04/2023 , Admitted by: Self, Date of

Admission: 25/04/2023 ,Place : Office

Village:- Olda, P.O:- Ghaspada, P.S:-BARSOL, District:-Purbi Singhbhum, Jharkhand, India, PIN:-832101 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: blxxxxxx6m, Aadhaar No Not Provided by UIDAI, Status :Individual, Executed by: Self, Date of

, Admitted by: Self, Date of Admission: 25/04/2023 ,Place: Office

## Developer Details :

Garai

SI No	Name, Address, Photo, Finger print and Signature
1	KRITTI CONSTRUCTION
	Village:- Raghunathpur, P.O:- Jhargram, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721507, PAN No.:: AAxxxxxx1A, Aadhaar No Not Provided by UIDAI, Status: Organization, Executed by: Representative

Representative Details:

Name	Photo	Finger Print	Signature
Shri Soudeep Sahoo Son of Late Krishnendu Sahoo Date of Execution - 25/04/2023, Admitted by: Self, Date of Admission: 25/04/2023, Place of			Soudeep Sahoo.
Admission of Execution: Office	Apr 25 2023 2:37PM	LTI 25/04/2023	25/04/2023
Village:- Raghunathpur, P.O:- 721507, Sex: Male, By Caste: egxxxxxx5m,Aadhaar No Not I CONSTRUCTION	Jhargram, P.S:-Jh Hindu, Occupation Provided by UIDA	nargram, District:	-Jhargram, West Bengal, India, PIN ten of: India, , PAN No.:: entative, Representative of : KRITT

Name Name Name April Mahata April Mahata April Mahata	Photo	Finger Print	\$ gratura
pate of Admission:			Seemark mehath
amission of Execution: Office		C. C.	
illage:- Tengia, P.O:- Pukuriy	Apr 25 2023 2:37PM	LT1 25/04/2923	2504.7023

iya, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721507. Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: bsxxxxxx1a, Aachaar No Not Provided by UIDAI Status : Representative, Representative of : KRITTI CONSTRUCTION

## Identifier Details :

lame	Photo	Finger Print	Signature
Mr Niladri Das Son of Late Jitendra Nath Das At- Balaramdihi, City:-, P.O:- Jhargram, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721505			Niladei DS.
	25/04/2023	25/04/2023	25/04/2023

Transfer of property for L1				
SI.No	From	To. with area (Name-Area)		
1	Smt Mantu Bhuniya	KRITTI CONSTRUCTION-7.9 Dec		

# Land Details as per Land Record

District: Jhargram, P.S:- Jhargram, Municipality: JHARGRAM, Mouza: Janglekhas-(395), , Ward No: 12, Holding No:570/393 Jl No: 395, Pin Code: 721507

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 454, LR Khatian No:- 13680	Owner:মান্ড রানী গরাই, Gurdian:আশীয , Address:নিজ , Classification:যান্ত, Area:0.07900000	Smt Mantu Bhuniya
		Acre,	

Rule 43,W.B. Registration Rules 1962) The 21 of West Bengal Registration Rule, 1962 duty stamped under schedule 1A, Article number : 48 State Act 1899

# Conder Section 52 & Rule 22A(3) 46(1) W.B. Registration Rules (1962)

or registration at 13:44 hirs on 25-04-2023, at the Office of the A.D.S.R. JHARGRAM by Smt. Mantu Alias Smit Mantu Rani Alia Mantu Alia Manatu Rani Garai, Executant.

participe of Market Value (WB PUV) rules of 2001) Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs

## 54,24,100-Admission of Execution ( Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 25/04/2023 by Smt Mantu Shuniya, Alias Smt Mantu Rani Alis Mantu Alis Manatu Rani Garal, Wife of Shri Ashi Kumar Garai, P.O: Ghaspada, Thana: BARSOL, , Purbi Singhbhum, JHARKHAND, India, PIN -832101, by caste Hindu, by Profession House wife

Indetified by Mr Niladri Das. . . Son of Late Jitendra Nath Das, At- Balaramdihi, P.O: Jhargram, Thana: Jhargram, . Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

# Admission of Execution ( Under Section 58, W.B. Registration Rules, 1962.) [Representative]

Indetified by Mr Niladri Das. . . Son of Late Jitendra Nath Das, At-Balaramdihi, P.O: Jhargram, Thana: Jhargram, . Execution is admitted on 25-04-2023 by Shri Soudeep Sahoo, Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

Indetified by Mr Niladri Das. . . Son of Late Jitendra Nath Das, At-Balaramdihi, P.O. Jhargram, Thana: Jhargram, . Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

Certified that required Registration Fees payable for this document is Rs 10,014.00/- (B = Rs 10,000.00/-, E = Rs Payment of Fees

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 25/04/2023 1:04AM with Govt. Ref. No: 192023240027421561 on 25-04-2023, Amount Rs: 10,014/-, Bank: Punjab National Bank ( PUNB0010000), Ref. No. 435773238 on 25-04-2023, Head of Account 0030-03-104-001-16

Certified that required Stamp Duty payable for this document is Rs. 40,011/- and Stamp Duty paid by Stamp Rs

Description of Stamp

1. Stamp: Type: Impressed, Serial no 1520, Amount: Rs.5,000.00/-, Date of Purchase: 25/04/2023, Vendor name: 5,000.00/-, by online = Rs 35,011/-Description of Stamp

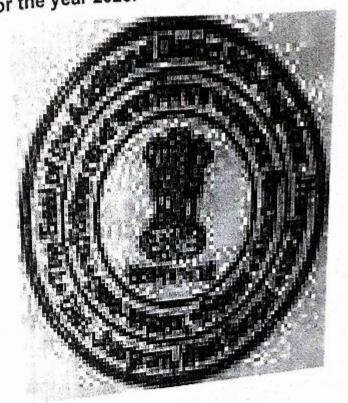
Rapati Das

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Description of Online Payment using Government Receipt Fortal Gystem (GRIFS), Finance Department, Govt. of WB Online on 25/04/2023 1:04AM with Govt. Ref. No: 192023240027421561 on 25-04-2023, Amount Rs: 35,011/-, Bank: Online on 25/04/2023 1:04AM with Govt. Ref. No: 192023240027421561 on 25-04-2023, Amount Rs: 35,011/-, Bank: Online on Zoru4/Zuzo 1:04AN With Govt. No. 1320224002/1421001 on 25-04-2023, Amount Rs. 35,011/-, Bar Punjab National Bank ( PUNB0010000), Ref. No. 435773238 on 25-04-2023, Head of Account 0030-02-103-003-02

Rabindranata Su.

RABINDRANATH SAU ADDITIONAL DISTRICT SUB-REGISTRAR OFFICE OF THE A.D.S.R. JHARGRAM Jhargram, West Bengal

Seale of 2205-2023, Page from 12421 to 12450 20500717 for the year 2023.



Digitally signed by RABINDRANATH SAU Date: 2023.04.25 16:08:10 +05:30 Reason: Digital Signing of Deed.

Rabindrematin Sur.

(RABINDRANATH SAU) 2023/04/25 04:08:10 PM ADDITIONAL DISTRICT SUB-REGISTRAR OFFICE OF THE A.D.S.R. JHARGRAM West Bengal.

(This document is digitally signed.)

25/04/2023 Query No:-22052001026533 / 2023 Deed No :1 - 220500717 / 2023, Document is digitally signed. Page 30 of 30